

A-7971

74834

JOURNAL--CITY COUNCIL--CHICAGO

2/5/2014

Reclassification Of Area Shown On Map No. 1-K.

(Application No. 17905)

(Common Address: 4422 W. Madison St.)

[O2013-9426]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2 Community Shopping District symbols and indications as shown on Map Number 1-K in the area bounded by:

a line 200 feet west of North Kostner Avenue; West Madison Street; a line 275 feet west of North Kostner Avenue; and the public alley next north of West Madison Street,

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 2-F.

(Application No. A-7971)

(Common Address: 29 -- 39 S. LaSalle St.)

DC-16

[O2013-9203]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Business Planned Development Number 1026 symbols as shown on Map Number 2-F in the area generally bounded by:

West Arcade Place; a line 209.93 feet east of and parallel to South LaSalle Street; a line 80.27 feet south of and parallel to West Arcade Place; a line 232.68 feet east of and parallel to South LaSalle Street; West Monroe Street; and South LaSalle Street,

to the designation of DC-16 Downtown Core District.

SECTION 2. This ordinance takes effect after its passage and approval.



City of Chicago
Richard M. Daley, Mayor

Department of Zoning

Patricia A. Scudiero
Zoning Administrator

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)
<http://www.cityofchicago.org>

March 17, 2009

Mr. John J. George
Attorney At Law
Two First National Plaza
20 South Clark Street, Suite 400
Chicago, IL 60603-1903

Re: **Minor Change request for Business Planned Development No. 1026, 29-39 South La Salle Street**

Dear Mr. George:

Please be advised that your request for a minor change to Business Planned Development No. 1026 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.13 of the Planned Development.

Specifically, you requested the following changes:

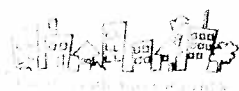
- Site Plan - the office building core, winter garden, water feature, parking ramp and loading dock locations have been redesigned and the indoor through-block connection has been deleted.
- Landscape Plan - modifications to the green roof area to correspond to tower changes and modifications to paving finishes.
- West Elevation - redesigned facade with a new curved element and different stone and an increased setback at the 39 S. La Salle Building. Additionally, the back wall of the proposed green atrium space shall be constructed of a finished material to be approved by this Department during the Part II review and approval process.
- South Elevation - setback and design changes.
- East Elevation - redesigned facade.
- North Elevation - redesigned facade and ground level changes.

The following revised drawings, prepared by Goettsch Partners, and dated March 5, 2009, shall be inserted into the main file:

PD 04 - Site Plan
PD 05 - Landscape Plan
PD 06 - West Elevation
PD 07 - South Elevation
PD 08 - East Elevation
PD 09 - North Elevation
PD 10 - Arcade Place Plan
PD 13 - Site/Paving Plan

Business Planned Development No. 1026 was approved by the City of Chicago on July 26, 2006 with a base Floor Area Ratio (FAR) of 16.0. Additional FAR was granted for a series of proposed amenities, including a 4.0 parking concealed by occupiable space bonus. Based on the above proposed revisions to the approved design, and in particular, the redesigned West Elevation (La Salle St.), further revisions were necessary in order to meet the bonus requirements of Section 17-4-1017-A(8) Above-Ground Parking Concealed by Occupiable Floor Space. The following revised documents and drawings, prepared by Goettsch Partners, and dated March 5, 2009, shall be inserted into the main file:

NEIGHBORHOODS



- Z 00 - Preliminary Zoning Analysis
- Z 01 - Base FAR
- Z 02 - Winter Garden
- Z 03 - Water Feature in Public Open Space
- Z 04 - Upper Level Setbacks
- Z 05 - Upper Level Setbacks
- Z 06 - Parking Concealed By Occupiable Space
- Z 07 - Parking Concealed By Occupiable Space
- Z 08 - Parking Concealed By Occupiable Space

The proposed revisions result in a reallocation of floor area bonus premiums as follows:

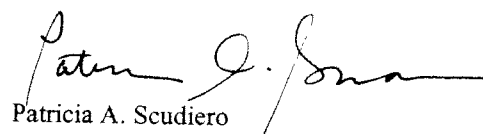
	<u>Proposed</u>	<u>Approved in PD</u>
Base Floor Area Ratio	16.000	16.000
Winter Gardens	2.196	2.142
Indoor Through-Block Connection	0.000	0.850
Water Features in Public Open Spaces	0.659	0.642
Upper Level Setbacks	1.836	1.298
Green Roofs	2.000	1.831
Parking Concealed by Occupiable Space	4.000	4.000
Streetscape Improvements	3.200	3.200
Adopt-A-Landmark	<u>3.200</u>	<u>3.200</u>
Maximum Allowable FAR	33.091	33.164

Floor Area Bonuses are subject to verification by the Department of Zoning and Land Use Planning during Part II review of compliance with the requirements of the Floor Area Bonus provisions of the Chicago Zoning Ordinance. The Adopt-a-Landmark and the Streetscape Improvements bonuses remain as documented in the Planned Development as approved July 26, 2006. All streetscape improvements in the Public Way are subject to the review and approval of the Chicago Department of Transportation.

With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing these design revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 1026, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


 Patricia A. Scudiero
 Commissioner

PAS:HG:tm

cc: Brian Goeken, Mike Marmo, Pay Haynes, Erik Glass, Ron Day, DPD files

7/26/2006

REPORTS OF COMMITTEES

14995
82733

*Reclassification Of Area Shown On Map Number 2-F.
(As Amended)
(Application Number 14995)*

Be It Ordained by the City Council of the City of Chicago: BPD 1026

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the DC-16 Downtown Core District symbols and indications as shown on Map Number 2-F in the area bounded by:

West Arcade Place; a line 209.93 feet east of and parallel to South LaSalle Street; a line 80.27 feet south of and parallel to West Arcade Place; a line 232.68 feet east of and parallel to South LaSalle Street; West Monroe Street; and South LaSalle Street,

to the designation of a Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development Number 1026

Plan Of Development Statements.

1. The area delineated herein as a Business Planned Development consists of approximately thirty-nine thousand twenty-nine (39,029) square feet (zero and ninety-hundredths (0.90) acres) and is owned or controlled by the applicant, 29/39 South LaSalle Holdings, L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require

a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, then to the owners of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. An agreement among property owners, the board of directors of any property owners association, or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of these sixteen (16) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; a Site Plan; a Landscape Plan; an Arcade Place Entry Feature Detail; a Bollard and Exterior Lighting Detail Plan; and Building Elevations (North Elevation, South Elevation, East Elevation and West Elevation) dated June 15, 2006 prepared by Lucien Lagrange Architects. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Business Planned Development": all uses permitted in the DC-16 Downtown Core District, including, but not limited to office, hotel, retail, commercial, parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.

7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site Plan; Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The applicant acknowledges that certain features of the building located at 37 -- 43 South LaSalle Street (the "New York Life Building") will be designated as a Chicago landmark and, therefore, any demolition and/or improvement to the New York Life Building are subject to the prior review and approval of the Commission on Chicago Landmarks. Subject to the final determination by the City Council on the proposed landmark designation and pursuant to the provisions of Section 17-4-1022 of the Chicago Zoning Ordinance, the Commissioner of the Department of Planning and Development acting on behalf of the City of Chicago and the Commission on Chicago Landmarks, is authorized to enter into an agreement with the owner of the New York Life Building located at 39 South LaSalle Street (the "Landmark Project") regarding the manner in which the funds for the renovation work relating to the Adopt-A-Landmark Bonus in the Landmark Project, as approved by the Commission on Chicago Landmarks on June 1, 2006 will be used. The agreement shall be in a form approved by the Corporation Counsel and shall be executed and submitted as part of the Part II submission to the Department of Planning and Development. The terms and conditions of the Landmark Project scope of the work and budget may be modified administratively by the Commissioner of the Department of Planning and Development in accordance with the provisions of Statement 12 of this planned development. Upon completion of the work related to the

Landmark Project, the applicant shall apply to the Commission on Chicago Landmarks for the issuance of a Certificate of Completion of the Landmark Project.

11. Prior to the Department of Planning and Development issuing a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance (a "Part II Approval") for development of any portion of the property, the applicant and the entities owning or controlling the 100 West Monroe Street and the 20 South Clark Street buildings, which are adjacent to the development, shall enter into easement agreements regarding (a) the property owned by the applicant which will become the loading area for the two above referenced buildings and (b) the area owned by the 20 South Clark Street building behind its building which is currently used for parking, which will become a common use area for vehicles used by the development and the two (2) above referenced buildings in order to permit ingress and egress from the loading area serving the three (3) properties.
12. The permitted F.A.R. identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of thirty-nine thousand four hundred eighteen (39,418) square feet, a base F.A.R of 16.0 and additional Floor Area Ratio for a series of proposed amenities, as follows:

Description	Floor Area Ratio
Base Floor Area Ratio	16.000
Upper Floor Setbacks	1.298
Green Roof Bonus	1.831
Winter Garden Bonus	2.142
Indoor Through-Block Connection Bonus	0.851
Streetscape Improvements Bonus	3.200
Adopt-A-Landmark Bonus	3.200
Water Feature In Public Open Space Bonus	0.642
Parking Concealed By Occupiable Space Bonus	4.000
Total Floor Area Ratio	33.164

The calculation of the additional Floor Area Ratio obtained through the series of proposed amenities is as follows:

Upper-Level Setback:

$$\begin{aligned}\text{Bonus Floor Area Ratio} &= 0.4 \times \text{sum of setback areas on each} \\ &\quad \text{floor / lot area} \\ &= 0.4 \times (13 \text{ floors} \times 9,390 \text{ square feet}) \\ &\quad / 39,423 \text{ square feet} \\ &= 1.238\end{aligned}$$

plus

$$\begin{aligned}&= 0.4 \times (12 \text{ floors} \times 500 \text{ square feet}) \\ &\quad / 39,423 \text{ square feet} \\ &= 0.060\end{aligned}$$

$$1.238 + 0.060 = 1.298$$

Green Roof:

$$\begin{aligned}\text{Bonus Floor Area Ratio} &= (\text{area of roof landscaping in excess of} \\ &\quad 50\% \text{ of net roof area/lot area}) \times \\ &\quad .030 \times \text{Base Floor Area Ratio} \\ &= (15,040 \text{ square feet} / 39,423 \text{ square} \\ &\quad \text{feet}) \times 0.30 \times 16 \\ &= 1.831\end{aligned}$$

Winter Garden:

$$\begin{aligned}\text{Bonus Floor Area Ratio} &= (\text{area of winter garden/lot area}) \times 1.0 \\ &\quad \times \text{Base Floor Area Ratio} \\ &= (5,280 \text{ square feet} / 39,423 \text{ square feet}) \\ &\quad \times 1.0 \times 16 \\ &= 2.142\end{aligned}$$

Indoor Through-Block
Connection:

$$\begin{aligned}\text{Bonus Floor Area Ratio} &= (\text{area of Indoor Through-Block} \\ &\quad \text{Connection/lot area}) \times 0.66 \\ &\quad \times \text{Base Floor Area Ratio} \\ &= (3,175 \text{ square feet} / 39,423 \text{ square feet}) \\ &\quad \times 0.66 \times 16 \\ &= 0.850\end{aligned}$$

Pursuant to the provisions of Section 17-4-1003-B of the Zoning Ordinance, the standards of Section 17-4-1008-A.2 have been modified as described in the Site Plan since the proposed indoor through-block connection is part of an integrated redevelopment project incorporating a historic landmark.

Streetscape Improvements.

Addition of granite pavers, snow-melt system located along Arcade Place, the east side of LaSalle Street and the north side of Monroe Street as they front the property, bollards (see Bollard and Exterior Lighting Detail) lighting (see Bollard and Exterior Lighting Detail), Arcade Place entry feature (see Arcade Place Entry Feature Detail). The applicant shall be responsible for all costs of maintenance of the granite pavers in the public right-of-way.

Bonus Floor Area Ratio = 3.2

Adopt-A-Landmark.

Restoration and renovation work and budget as approved by the Commission on Chicago Landmarks.

Bonus Floor Area Ratio = 3.2

Water Feature In Public Open Space.

Bonus Floor Area Ratio = (area of public open space amenity in which water feature is located/lot area) x 0.30 x Base Floor Area Ratio
= (5,280 square feet/39,423 square feet) x 0.30 x 16
= 0.642

Parking Concealed By Occupiable Floor Space (Levels 3 Through 9).

Bonus Floor Area Ratio = (area of concealed parking facade/lot area) x 0.40 x Base Floor Area Ratio
= (26,175 square feet/39,423 square feet) x 0.40 x 16
= 4.25

Maximum Bonus = 4.0

13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use best and reasonable efforts to design, construct and maintain the building located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The applicant agrees to provide a ninety percent (90%) green roof equaling approximately twenty-eight thousand five hundred (28,500) square feet of net useable roof area.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for the building or improvement proposed to be constructed pursuant to the permit.
16. Unless substantial construction of the new improvements contemplated in this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the pre-existing DC-16 Downtown Core District classification unless the applicant has already expended the amount of One Million Seventy-two Thousand One Hundred Seventy and no/100 Dollars (\$1,072,170.00) upon the

14995

specific building restoration project approved by the Commission on Chicago Landmarks for the restoration of the New York Life Building which sum represents fifty percent (50%) of the funds attributable to the Adopt-A-Landmark bonus. In the event that the applicant has expended said sum of One Million Seventy-two Thousand One Hundred Seventy and no/100 Dollars (\$1,072,170.00) within the initial six (6) year period, then this planned development shall remain effective for a period of ten (10) years following adoption of this planned development. In the event that the applicant has expended the amount of Two Million One Hundred Forty-four Thousand Three Hundred Forty and no/100 Dollars (\$2,144,340.00) upon the specific building restoration project approved by the Commission on Chicago Landmarks for the restoration of the New York Life Building which sum represents one-hundred percent (100%) of the funds attributable to the Adopt-A-Landmark bonus prior to the expiration of ten (10) years following adoption of this planned development, then this planned development shall remain effective for a period of fifteen (15) years following adoption of this planned development. In the event this planned development shall expire, then the zoning of the property shall automatically revert to the pre-existing DC-16 Downtown Core District classification.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary Line and Right-of way Adjustment Map; Site Plan; Landscape Plan; Arcade Place Plan; Arcade Place Entry Feature Detail; Bollard and Exterior Lighting Detail; and Building Elevations referred to in these Plan of Development Statements printed on pages 82742 through 82753 of this *Journal*.]

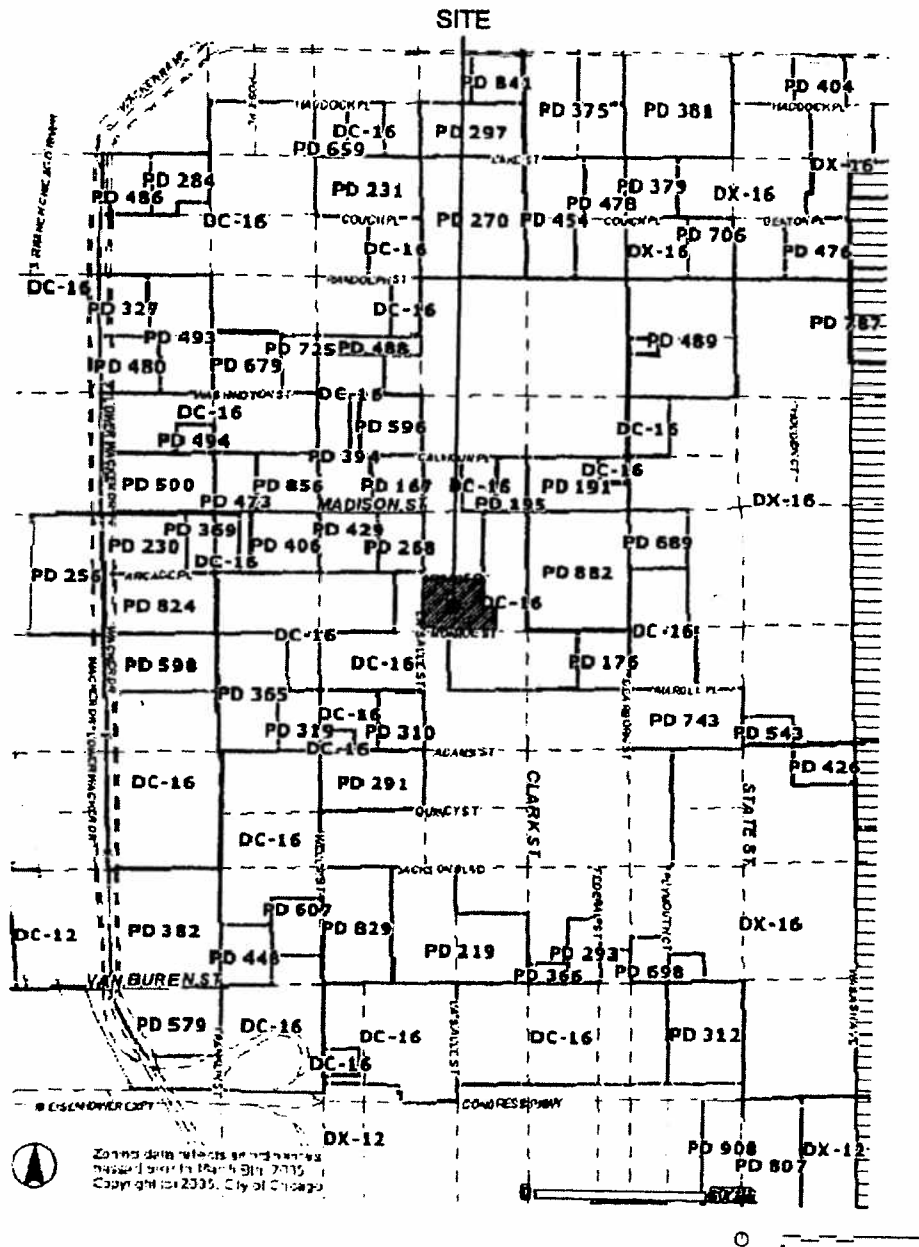
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Data Table.

Base Floor Area Ratio:	16.000
Upper Floor Setbacks:	1.298

Green Roof Bonus:	1.831
Winter Garden Bonus:	2.142
Indoor Through-Block Connection Bonus:	0.851
Streetscape Improvements Bonus:	3.200
Adopt-A-Landmark Bonus:	3.200
Water Feature in Public Open Space Bonus:	0.642
Parking Concealed by Occupiable Space Bonus:	4.000
Maximum Floor Area Ratio:	33,164
Site Area:	39,029 square feet
Area to be Vacated:	389 square feet
Net Site Area:	39,418 square feet
Area in Public-Right-Way:	20,095 square feet
Gross Site Area:	59,513 square feet
Setbacks from Property Line:	Zero (0 feet, 0 inches)
Maximum Percentage of Site Coverage:	100%
Minimum Number of Accessory Parking Spaces:	No minimum
Maximum Number of Accessory Parking Spaces:	260
Minimum Number of Loading Berths:	4 at 10 feet width by 25 feet length by 14 feet height
Maximum Building Height:	810 feet (zoning height)

Existing Zoning Map.



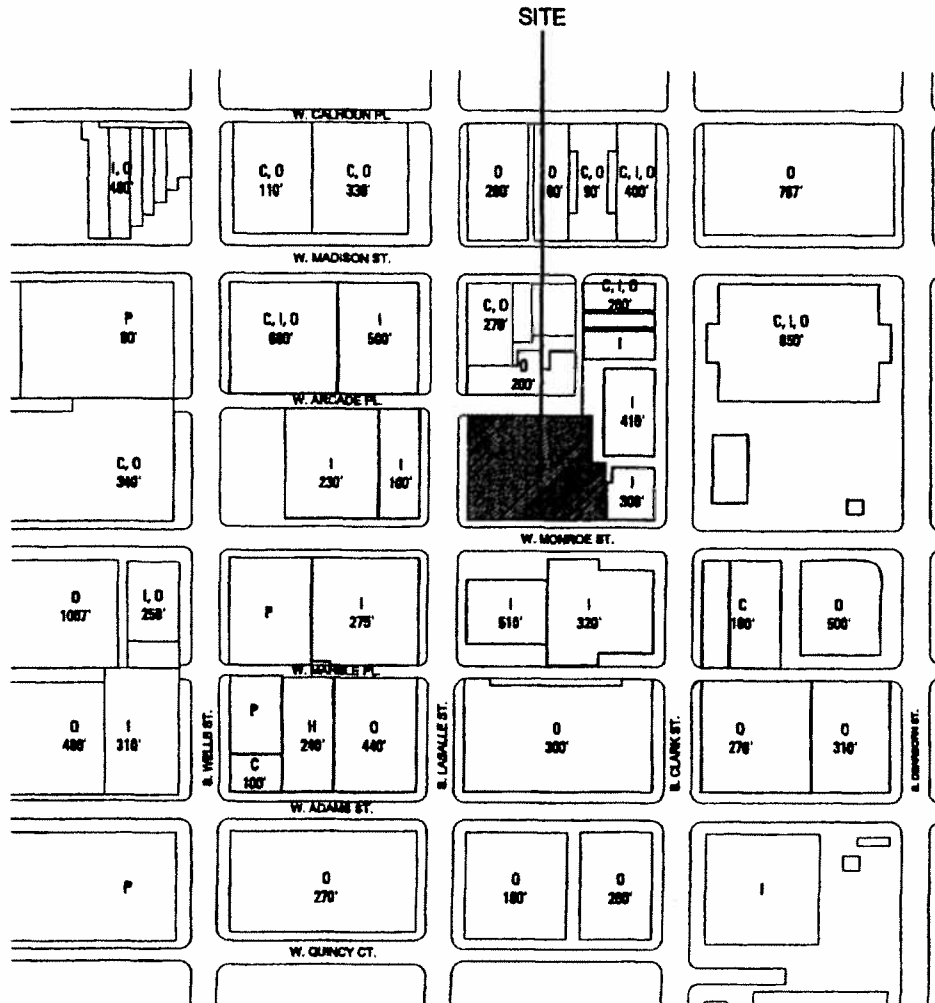
LUCIEN LAGRANGE
ARCHITECTS

100 West Madison Avenue Chicago, IL, 60601

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
 ADDRESS: 29-39 SOUTH LASALLE STREET
 110-134 WEST MONROE STREET
 DATE: JUNE 15, 2006

PD 01 - EXISTING ZONING MAP

Existing Land-Use Map.



R = RESIDENTIAL I = INSTITUTIONAL C = COMMERCIAL P = PARKING O = OFFICE H = HOTEL
 (CY) = APPROXIMATE HEIGHT OF BUILDING

NOTES:

1) BUILDING HEIGHTS MEASURE TO THE PRIMARY ROOF.
 HEIGHTS DO NOT INCLUDE ELEVATOR MACHINE ROOMS AND MECHANICAL ENCLOSURES.



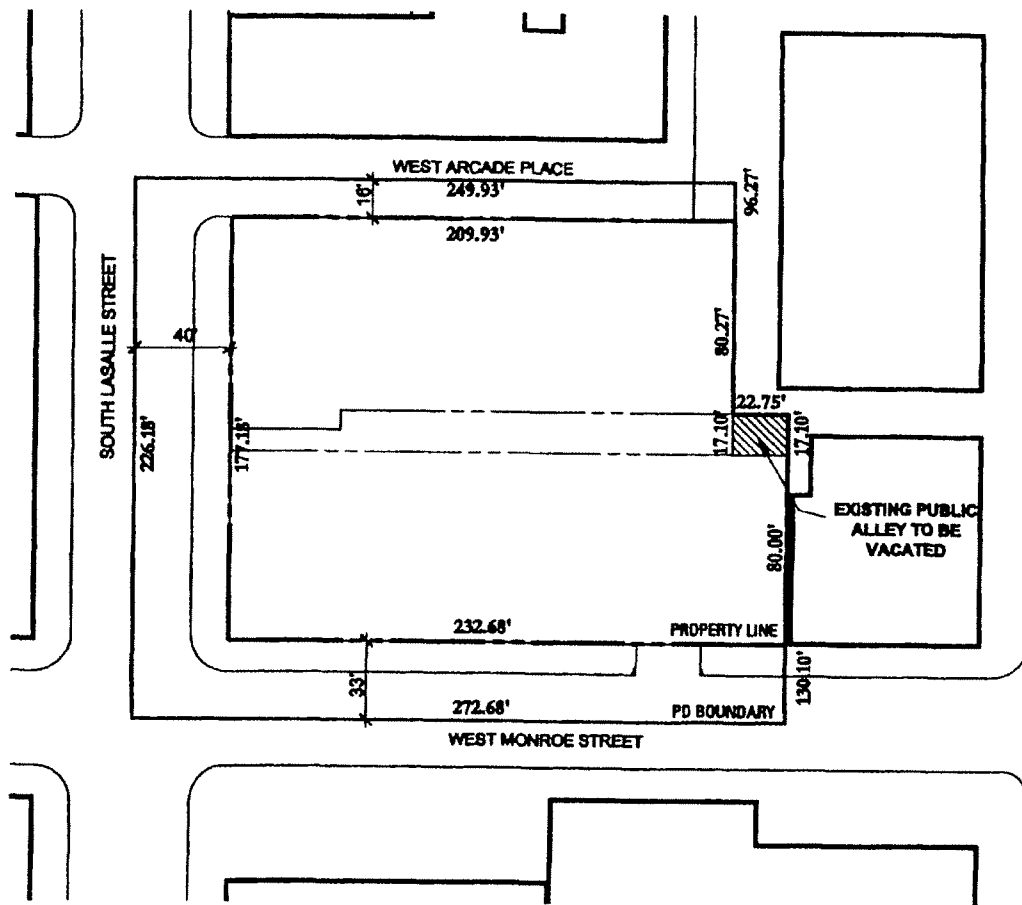
© 2006 Lucien Lagrange
 LUCIEN LAGRANGE
 ARCHITECTS

444 North Dearborn Avenue, Chicago, IL, 60610

APPLICANT: ----
 ADDRESS: *
 DATE: JUNE 15, 2006

PD 02 - EXISTING LAND USE MAP

Planned Development Boundary, Property Line
And Right-Of-Way Adjustment Map.



PROPERTY LINE ————
PD BOUNDARY ————

0 ————

4189 South LaSalle Street
LUCIEN LAGRANGE
ARCHITECTS
Any Street Address Change to Chicago, IL, 60606

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006

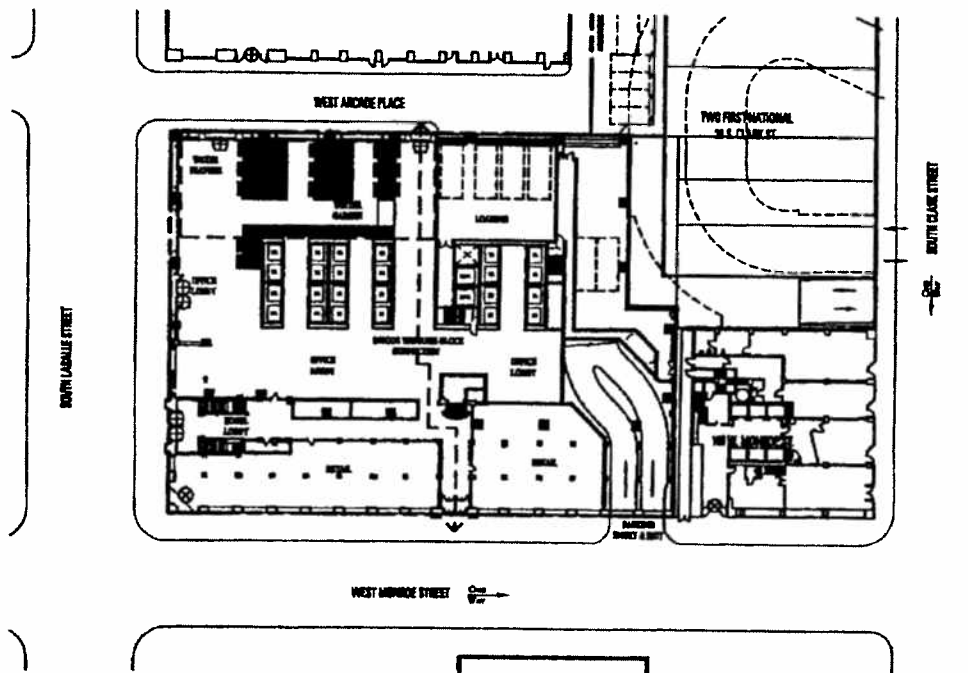
PD 03. PLANNED DEVELOPMENT BOUNDARY,
PROPERTY LINE AND RIGHT OF WAY ADJUSTMENT MAP

7/26/2006

REPORTS OF COMMITTEES

82745

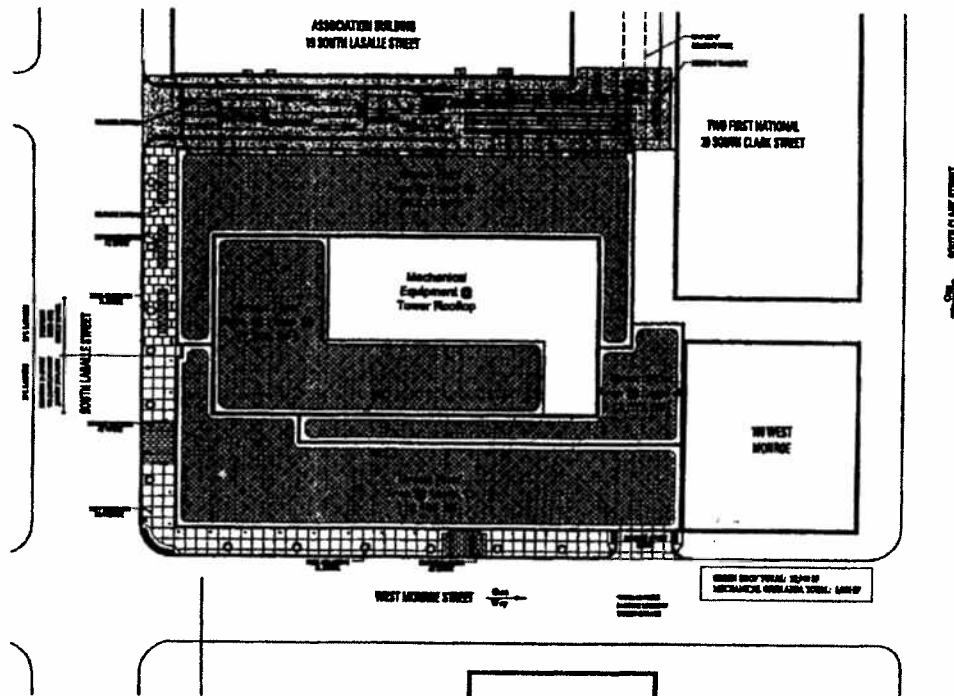
Site Plan.



LUCIEN LAGRANGE
ARCHITECTS
110 North Michigan Avenue Chicago IL, 60602

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006
PD 04 SITE PLAN

Landscape Plan.



GREEN ROOFS: TOTAL AVAILABLE ROOF (EXCLUDED MECHANICAL EQUIPMENT AREAS) ~81,238 SF
 30,446 SF GREEN ROOF PROVIDED

NOTE: ALL PLANT MATERIALS, PLANTING REQUIREMENTS & GROWING MEDIUM SPECIFICATIONS ARE PER CITY OF CHICAGO LANDSCAPE ORDINANCE.

1" = 10' - 0"

LUCIEN LAGRANGE
 ARCHITECTS

111 West LaSalle Avenue Chicago IL, 60604

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
 ADDRESS: 29-39 SOUTH LASALLE STREET
 110-134 WEST MONROE STREET
 DATE: JUNE 15, 2006

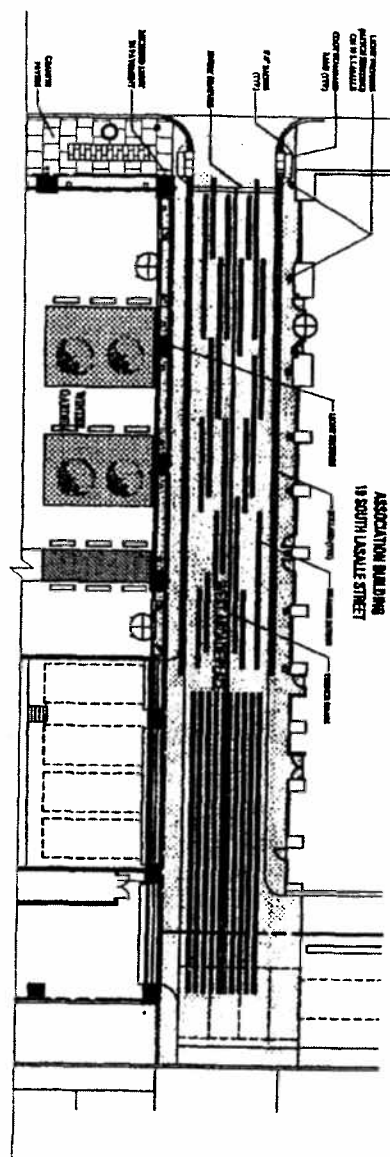
PD 05 - LANDSCAPE PLAN

7/26/2006

REPORTS OF COMMITTEES

82747

Arcade Place Plan.

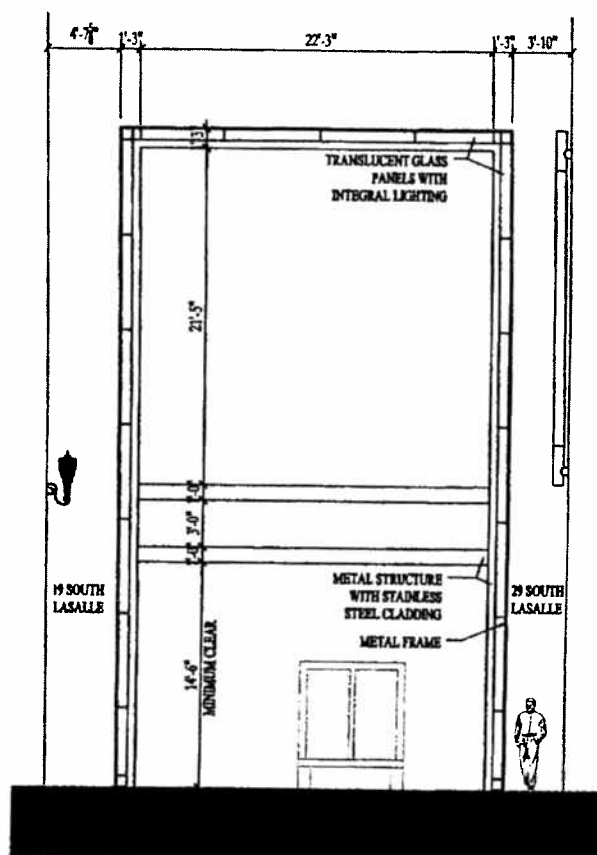


LUCIEN LAGRANGE
ARCHITECTS
One North Michigan Avenue Chicago, Ill.

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006

PD 10 PD 10 ARCADE PLACE PLAN

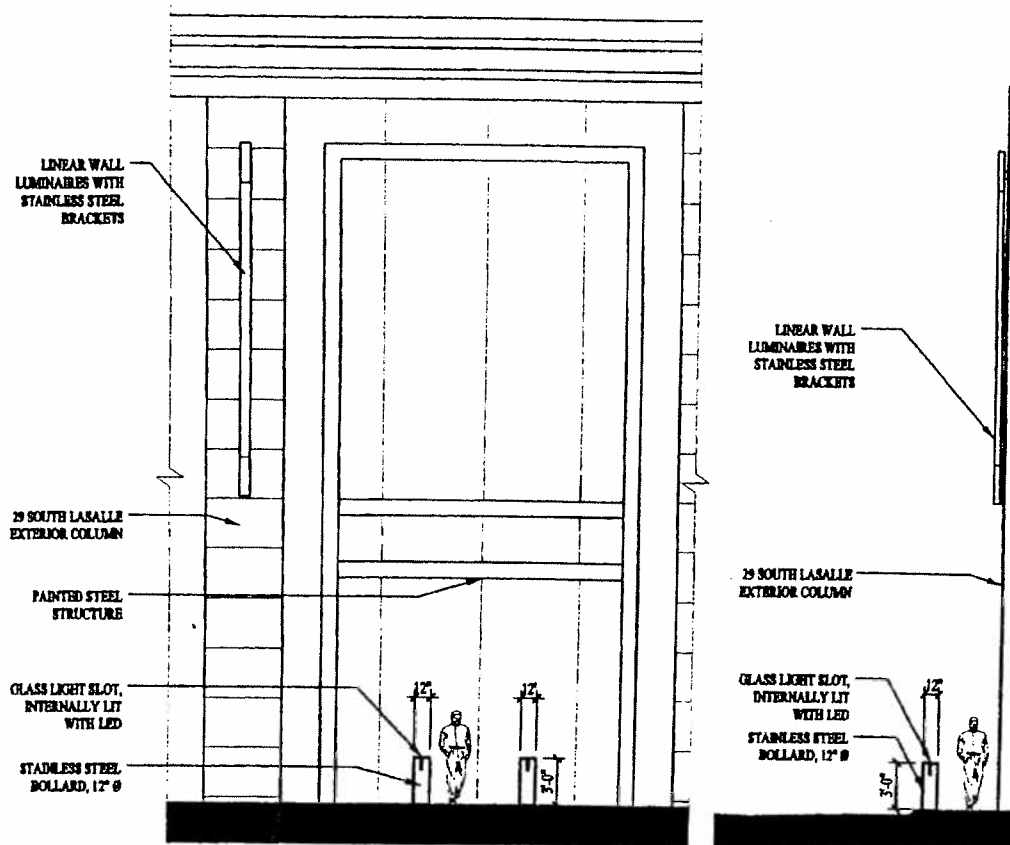
Arcade Place Entry Feature Detail.



© 2006 Lucien Lagrange Architects
LUCIEN LAGRANGE
ARCHITECTS
404 North Michigan Avenue Chicago IL, 60611

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006
PD 12 - ARCADE PLACE ENTRY FEATURE
DETAIL

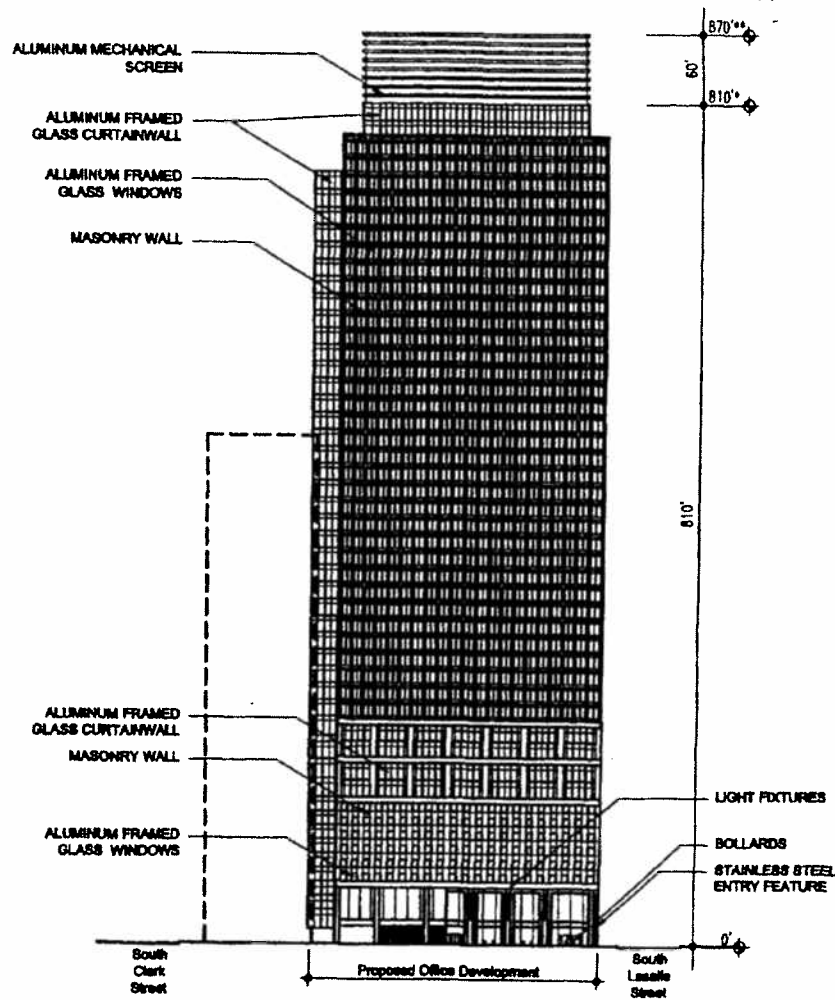
Bollard And Exterior Lighting Detail.



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LUCIEN LAGRANGE
ARCHITECTS
100 North Michigan Avenue Chicago IL, 60611

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006
PD 11, BOLLARD AND EXTERIOR
LIGHTING DETAIL

North Elevation.



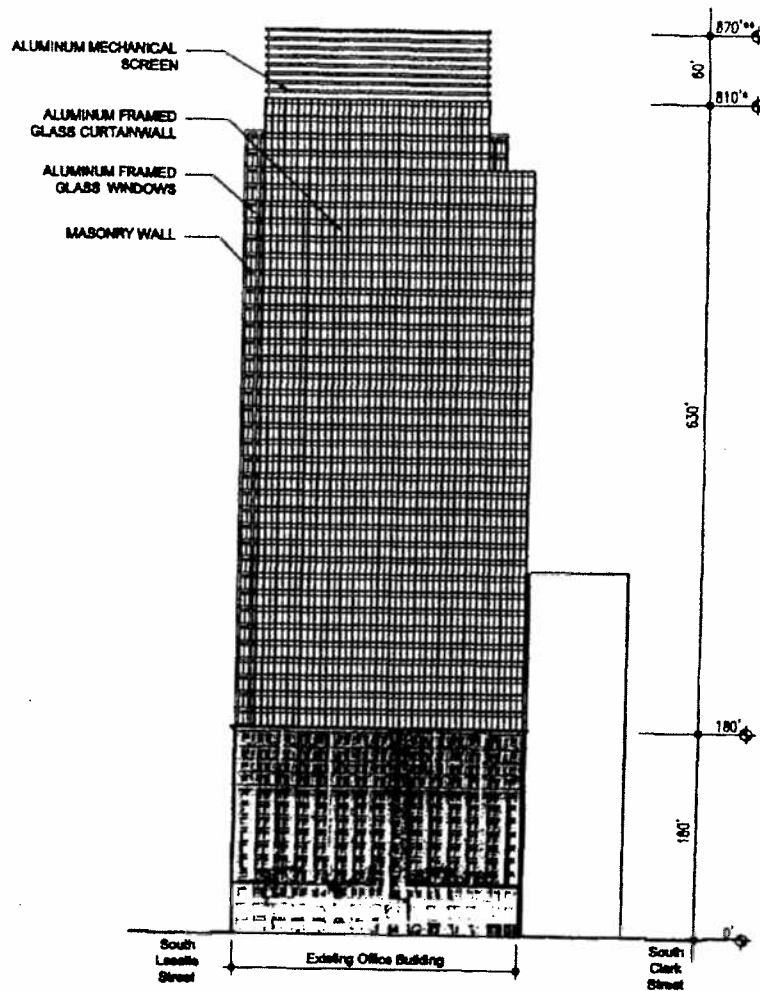
^ Building height as measured per Chicago Zoning Ordinance
 ** Absolute height

LUCIEN LAGRANGE
 ARCHITECT
 300 North Michigan Avenue Chicago, IL, 60610

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
 ADDRESS: 29-39 SOUTH LASALLE STREET
 110-134 WEST MONROE STREET
 DATE: JUNE 15, 2006

PD 09 _ NORTH ELEVATION

South Elevation.



* Building height as measured per Chicago Zoning Ordinance
 ** Absolute height

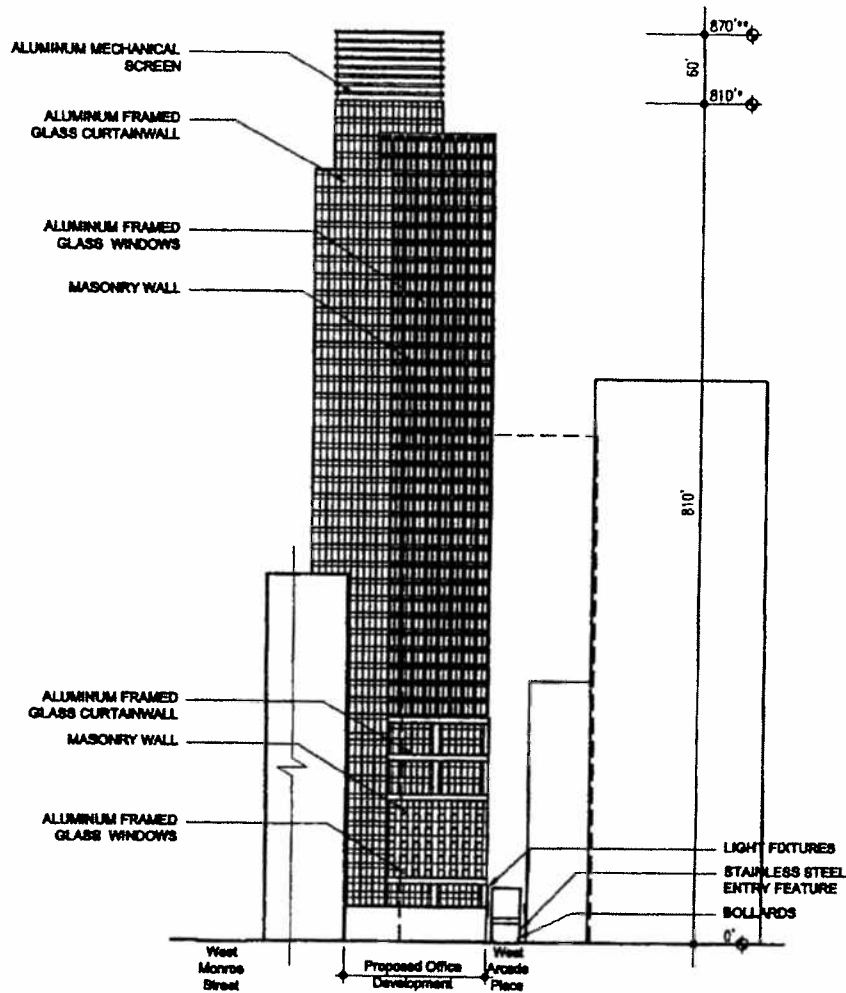
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 LUCIEN LAGRANGE
 ARCHITECTS

300 North Michigan Avenue Chicago, IL, 60601

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
 ADDRESS: 29-39 SOUTH LASALLE STREET
 110-134 WEST MONROE STREET
 DATE: JUNE 15, 2008

PD 07 - SOUTH ELEVATION

East Elevation.



* Building height as measured per Chicago Zoning Ordinance

** Absolute height

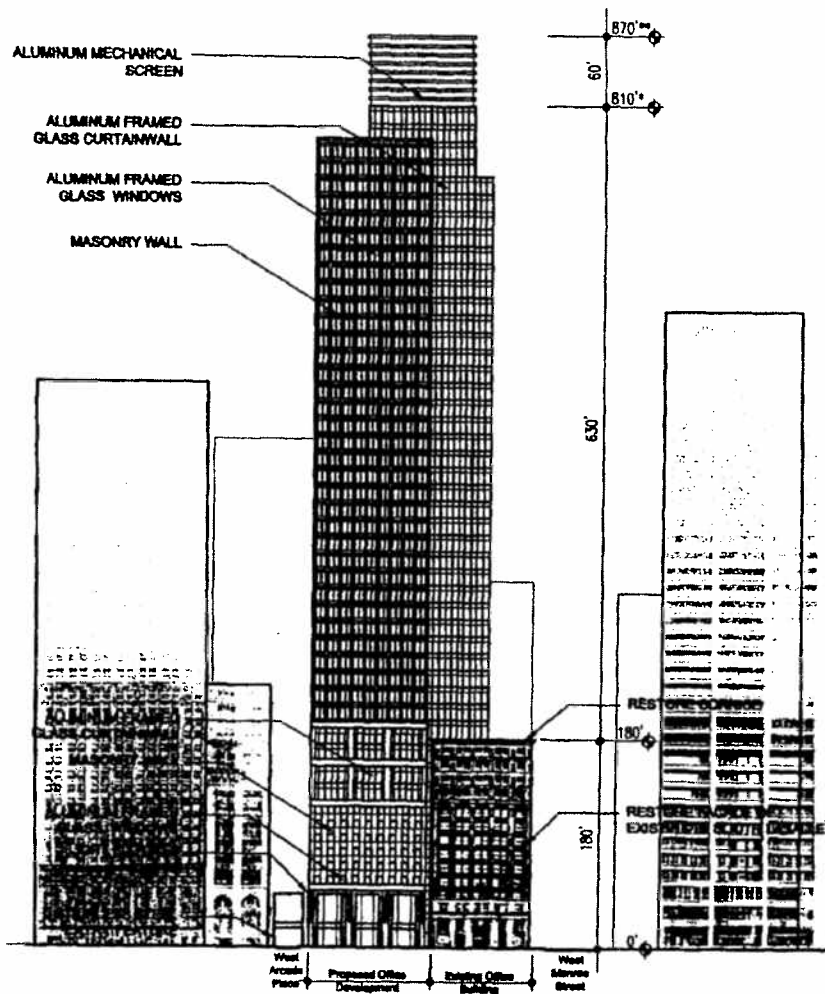
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LUCIEN LAGRANGE
ARCHITECTS

300 North Michigan Avenue Chicago IL, 60610

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
ADDRESS: 29-39 SOUTH LASALLE STREET
110-134 WEST MONROE STREET
DATE: JUNE 15, 2006

PD 08 - EAST ELEVATION

West Elevation.



* Building height as measured per Chicago Zoning Ordinances
 ** Absolute height

LUCIEN LAGRANGE
 ARCHITECT

Any Plans Must Meet Chicago R. Code

APPLICANT: 29-39 SOUTH LASALLE HOLDINGS, LLC
 ADDRESS: 29-39 SOUTH LASALLE STREET
 110-134 WEST MONROE STREET
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PD 06 - WEST ELEVATION